

Western Area Planning Committee

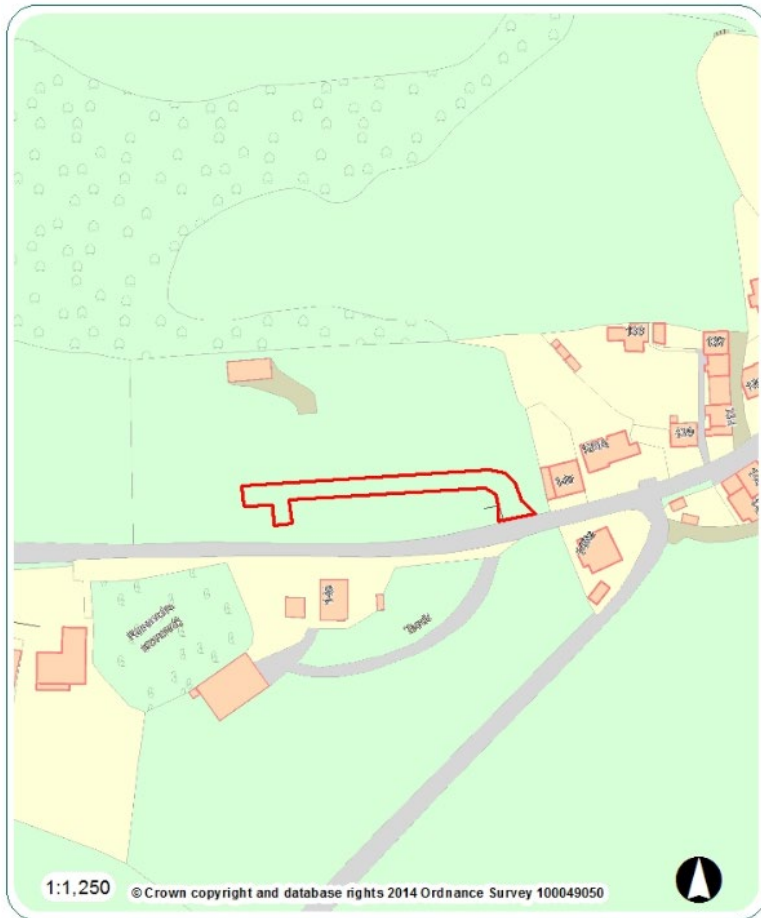
12 December 2018



7a) 17/08216/FUL - Land North of 146 Upper Westwood

Revised Proposal: Provision of one self-contained glamping pod with parking, change of use of land to leisure / tourism. (Resubmission of 17/02852/FUL).

Recommendation – Approve with Conditions



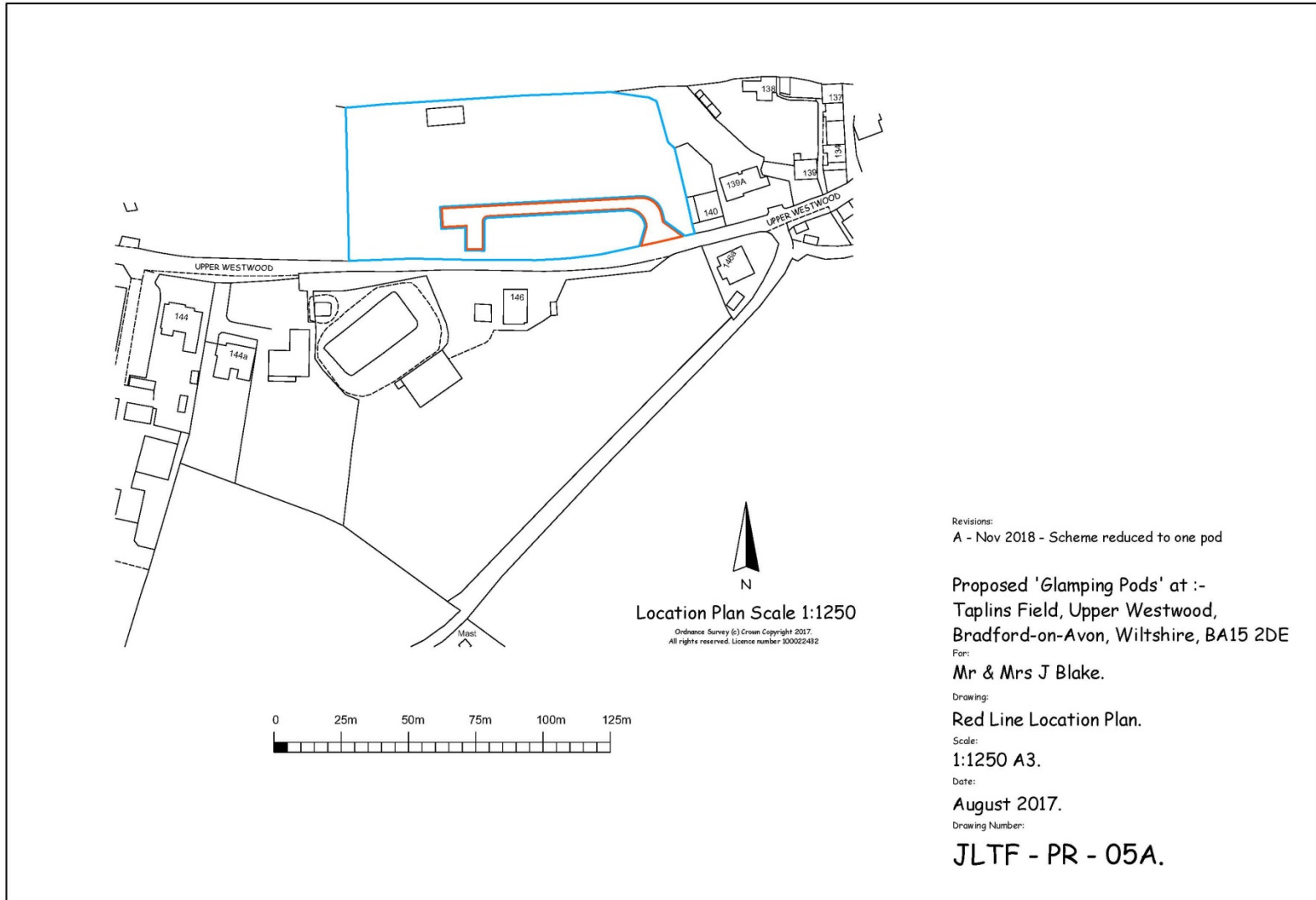
Site Location Plan



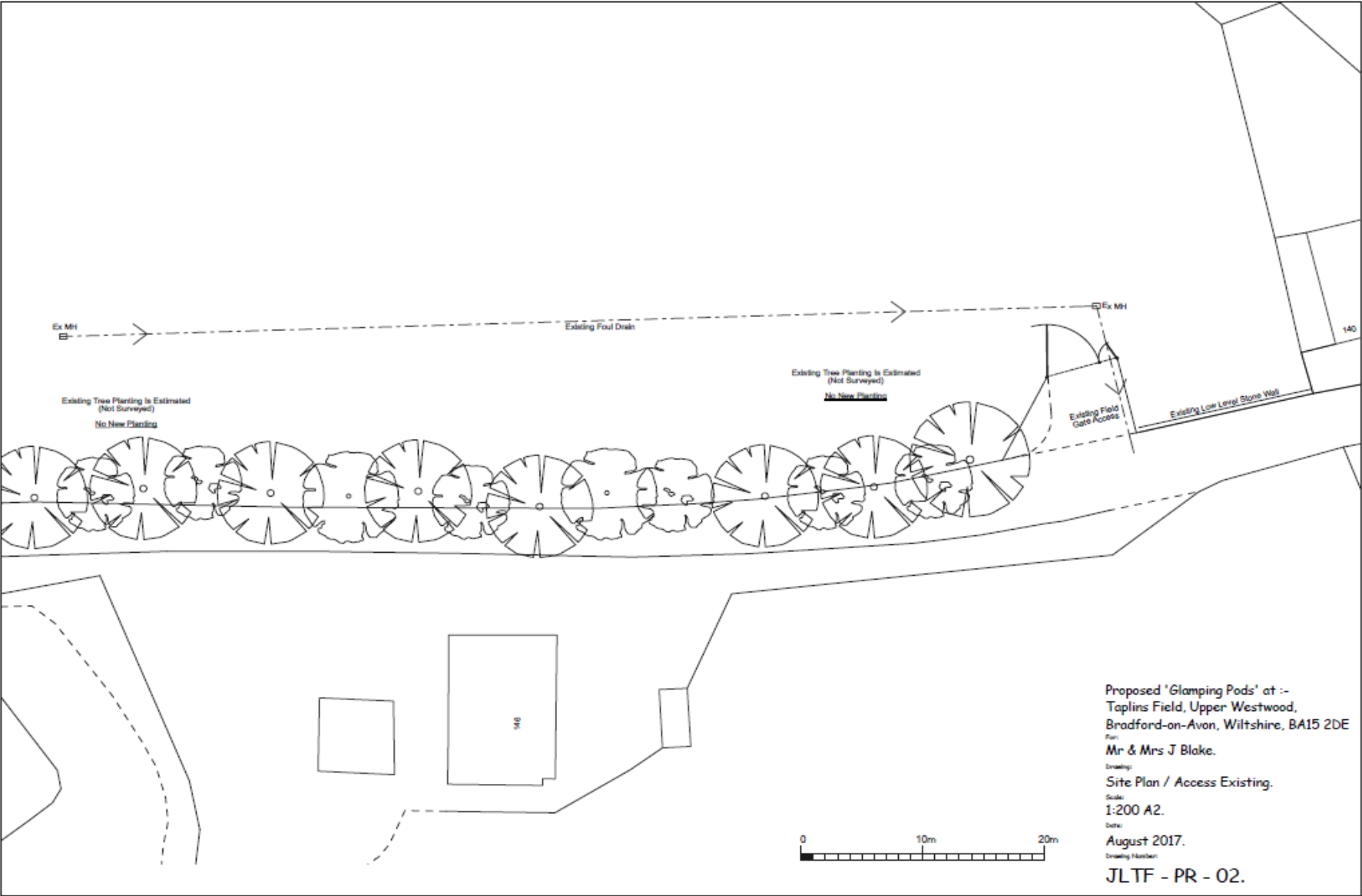
Aerial Photography



Site Location Plan

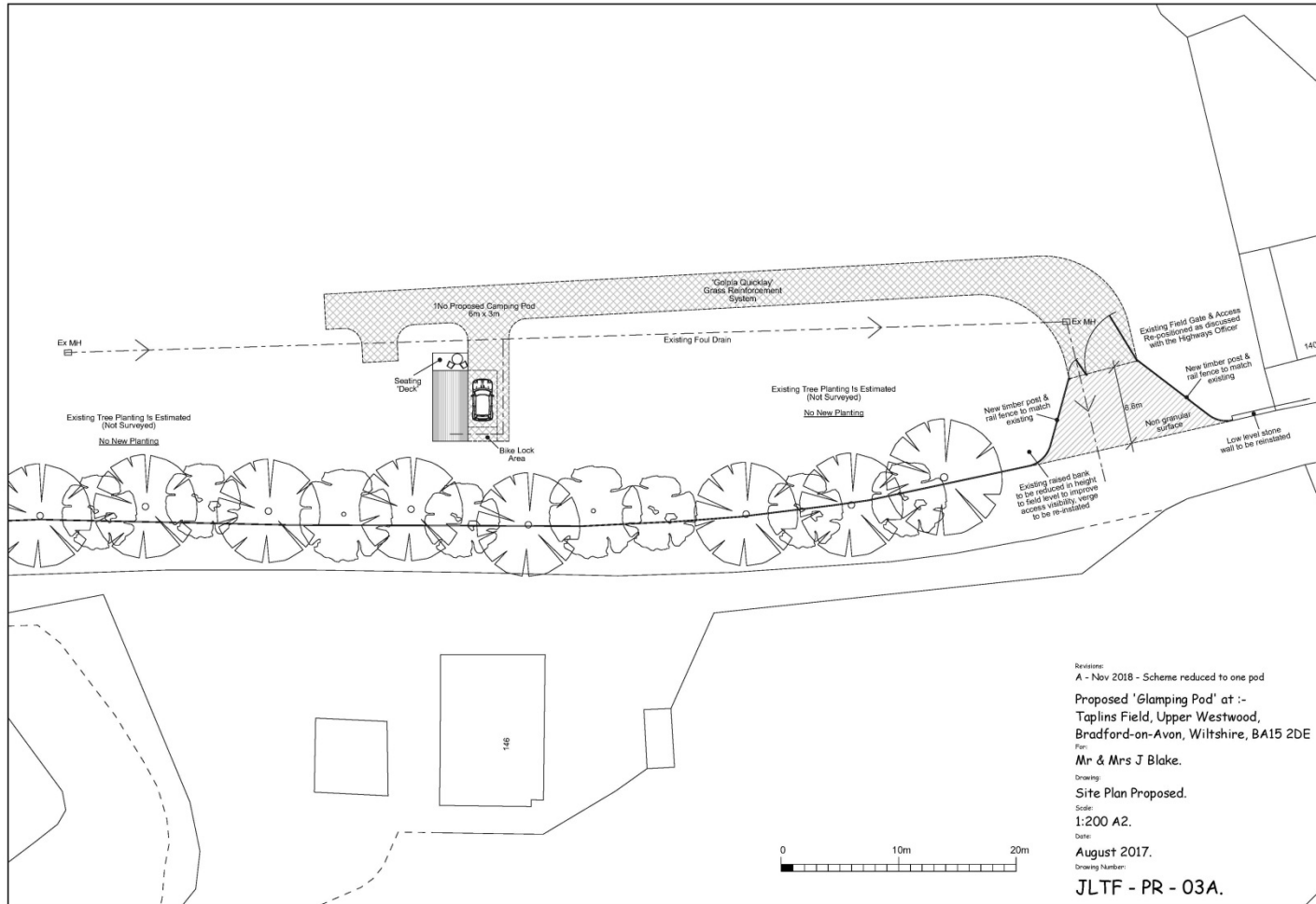


Existing site and access plan



Proposed 'Glamping Pods' at :-
Taplins Field, Upper Westwood,
Bradford-on-Avon, Wiltshire, BA15 2DE
For:
Mr & Mrs J Blake.
Drawing:
Site Plan / Access Existing.
Scale:
1:200 A2.
Date:
August 2017.
Drawing Number:
JLTF - PR - 02.

Block Plan



Revisions:
 A - Nov 2018 - Scheme reduced to one pod
Proposed 'Glamping Pod' at :-
Taplins Field, Upper Westshire,
Bradford-on-Avon, Wiltshire, BA15 2DE
 For:
Mr & Mrs J Blake.
 Drawing:
Site Plan Proposed.
 Scale:
1:200 A2.
 Date:
August 2017.
 Drawing Number:
JLTF - PR - 03A.

Pod Details



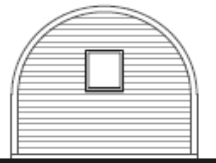
SIDE ELEVATION



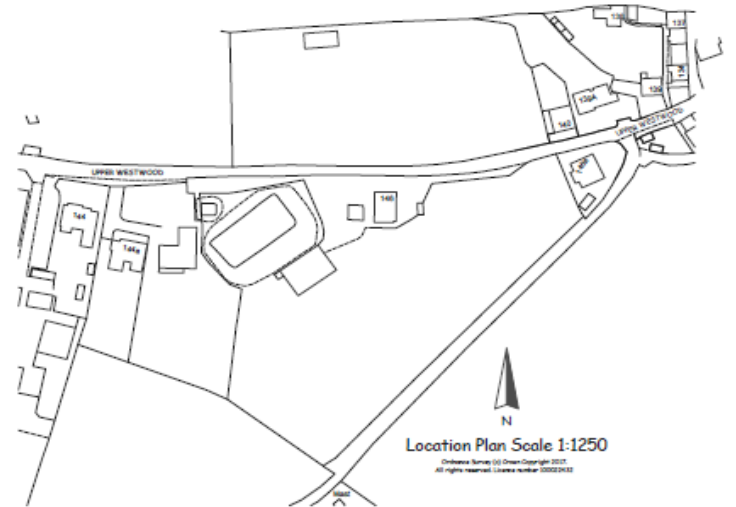
SIDE ELEVATION



FRONT ELEVATION

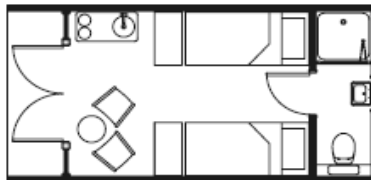


REAR ELEVATION

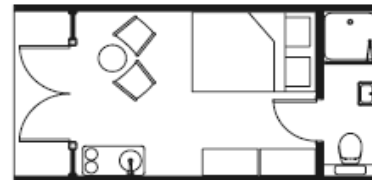


Location Plan Scale 1:1250

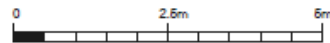
Ordnance Survey (© Crown Copyright 2017)
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FLOOR PLAN (TWIN OPTION)



FLOOR PLAN (DOUBLE OPTION)



Proposed 'Glamping Pods' at :-
Taplins Field, Upper Westwood,
Bradford-on-Avon, Wiltshire, BA15 2DE
For:
Mr & Mrs J Blake.

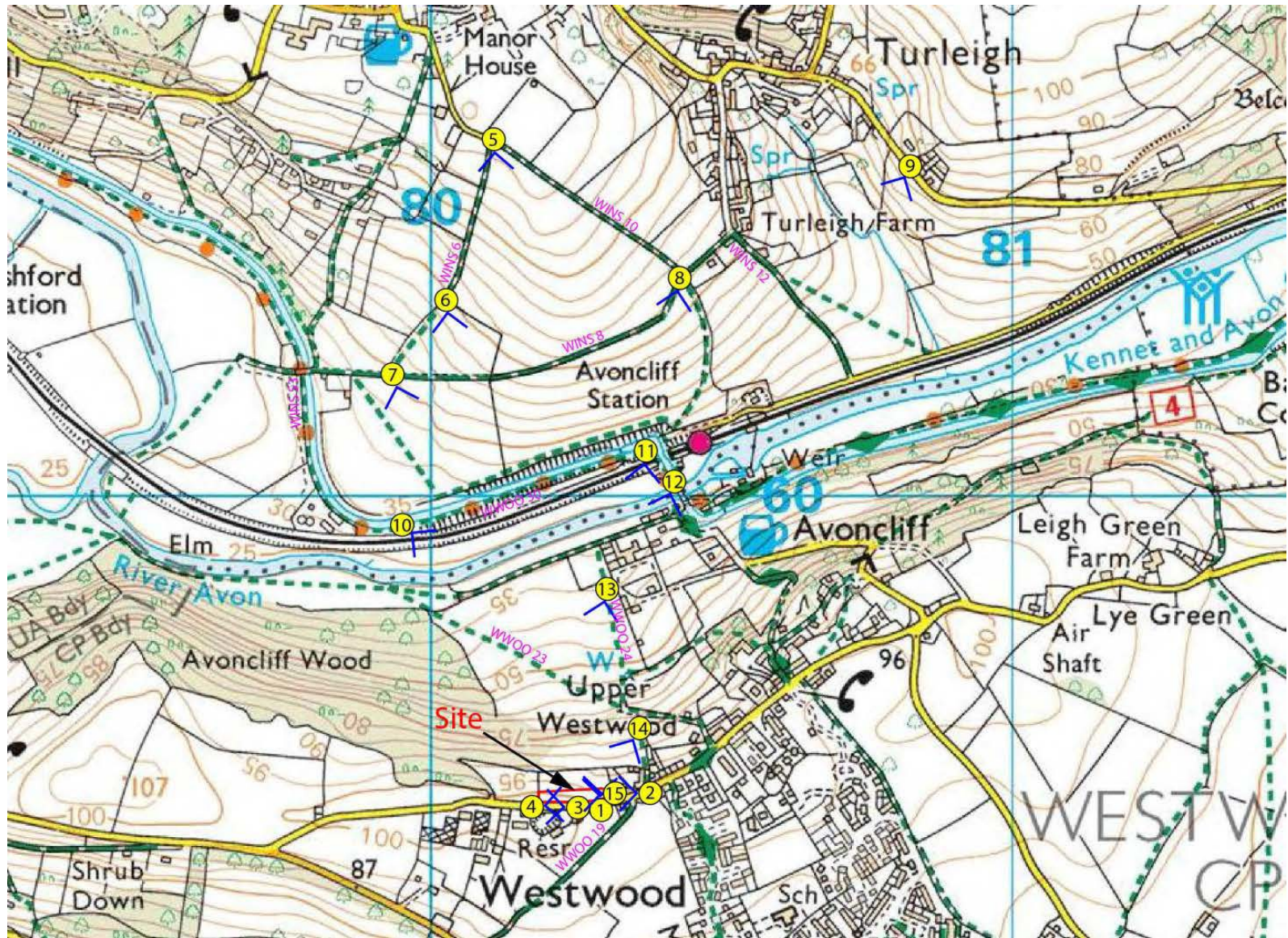
Drawing:
Pods & Location Plan.

Scale:
1:50 & 1:1250 A2.

Date:
August 2017.

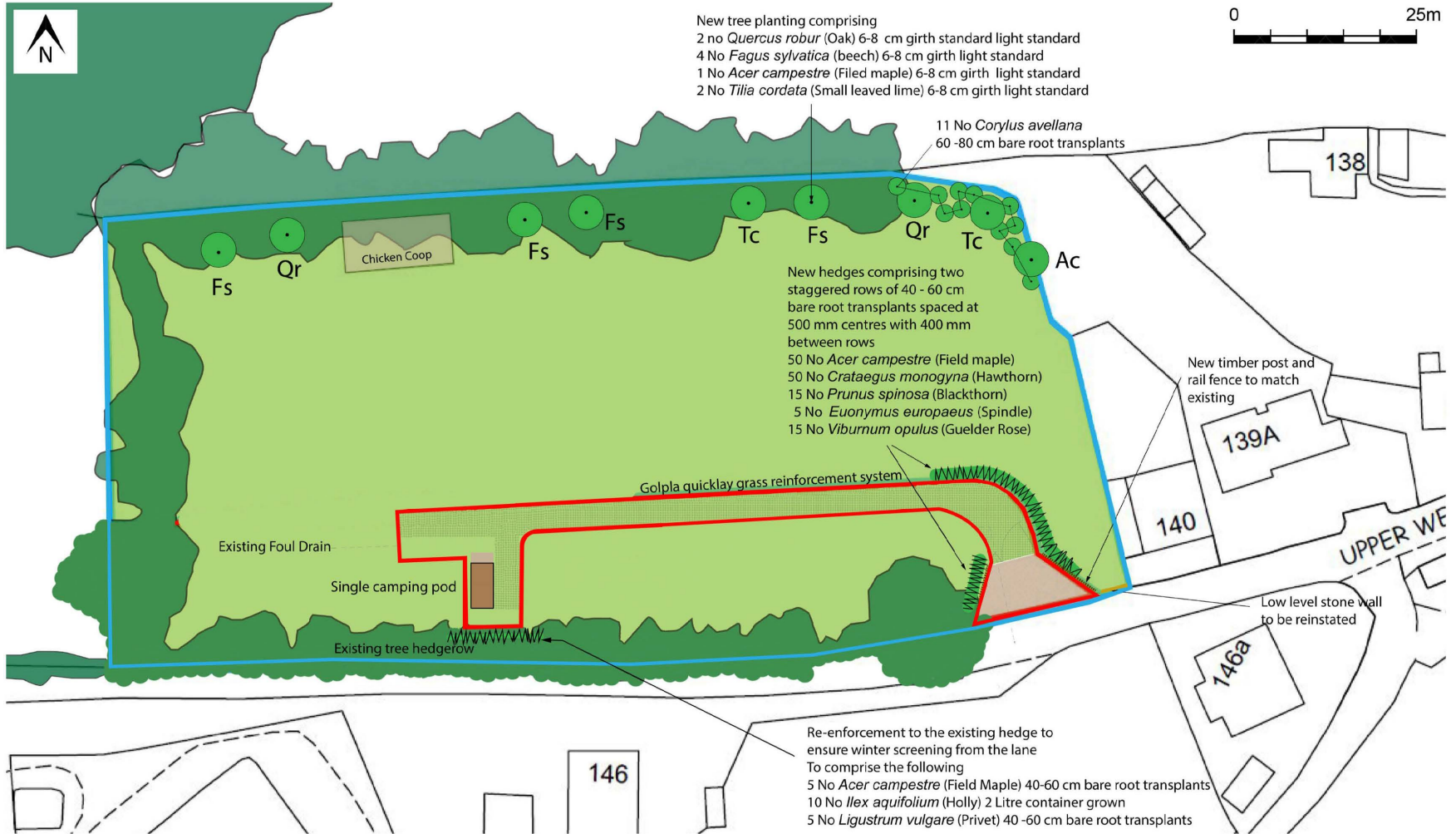
Drawing Number:
JLTF - PR - 01.

Visual Impact Assessment Viewpoints (yellow dots)



Planting Proposals

TAPLIN'S FIELD, WESTWOOD, WILTSHIRE, BA15 2DE : PLANTING PLAN



V2 24.11.18 - Reduced to a single camping unit
 V3 03.12.18 - Red line redrawn around the single unit

For: Mr & Mrs J Blake.
 Drawing: Planting Plan

Date: 08 May 1018
 Drawing Number: 274_PP_01_V3





Viewpoint A

This is a view from the east side of the field illustrating the strong enclosure provided by the hedges and trees. The stables, caravan and green house are tucked neatly to the edges to preserve the open character of the field.

Viewpoint B

This is a view from the west boundary illustrating the enclosure to the north and south but also the open aspect towards the village.



Figure 7.8a: View 8 (18.04.18)



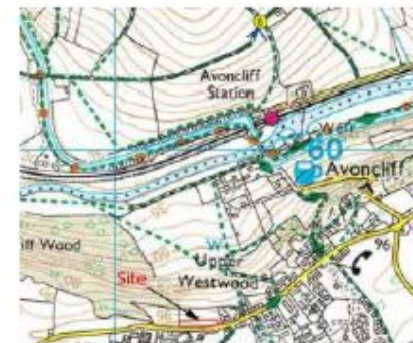
Viewpoint 8

Direction of view: South southwest

Distance to the nearest part of the site: 896 m

Elevation: 81 m AOD

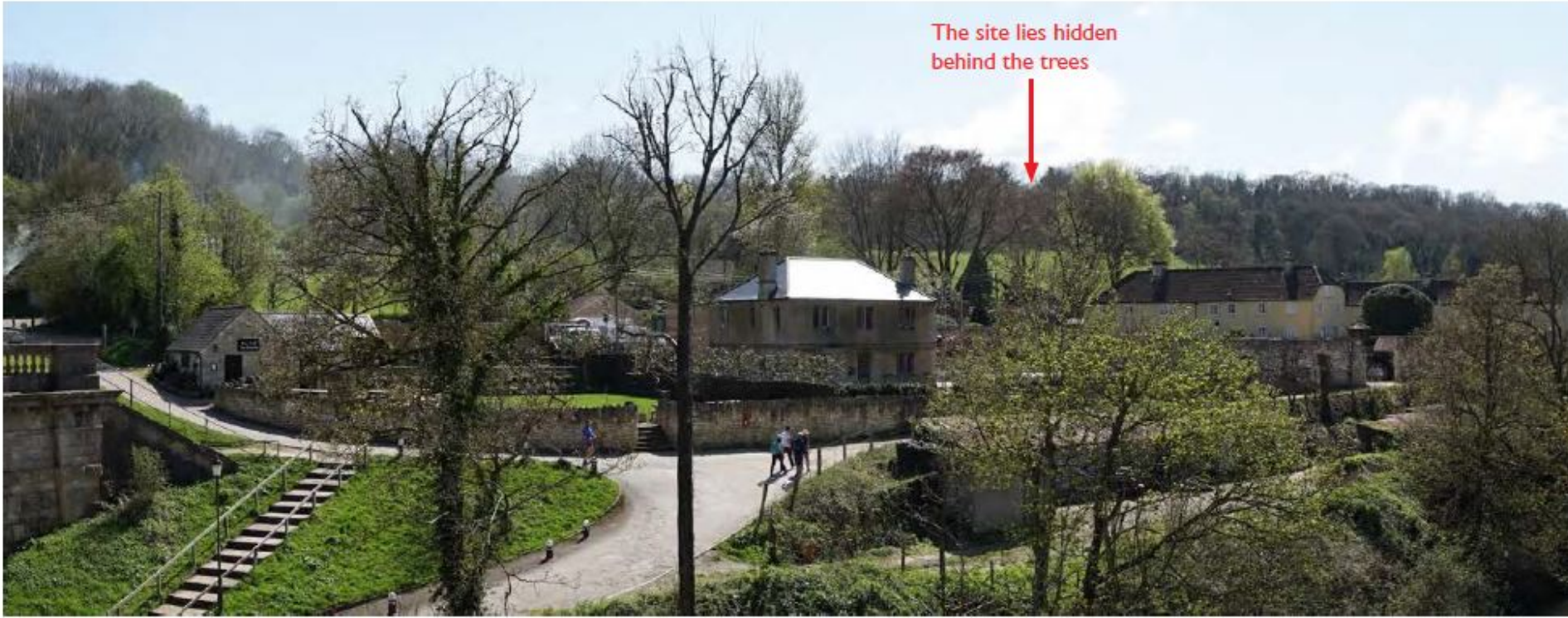
Grid reference: ST 80436 60380





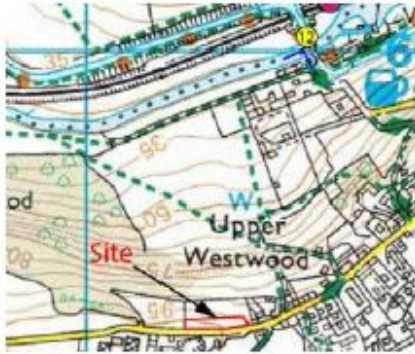
The site lies hidden
behind the trees





The site lies hidden behind the trees

Viewpoint 12
Direction of view: South southwest
Distance to the nearest part of the site: 527 m
Elevation: 34 m AOD
Grid reference: ST 80422 60013





Viewpoint 14
 Direction of view: Southwest
 Distance to the nearest part of the site: 120
 m Elevation: 82 m AOD
 Grid reference: ST 80354 59603



Description of the existing view

Footpath WWO022 continues up the slope into Upper Westwood. For much of its length views are obscured by tree cover but a short section crosses an open field on the approach to the village. The gap in tree and hedge cover in the northeast corner of Taplins Field affords a view through to part of the site. The caravan and electricity supply box are visible. The houses on the edge of Westwood are visible and dominate the view.

Predicted changes to the view

The pod will be briefly visible to those ascending the hill. The inset photograph to the right illustrates how views of the site quickly disappear on descending the hill.

Assessment

The sensitivity of the viewer is High and the magnitude of change Medium, resulting in an adverse effect of Moderate – Major significance (but only for a short 30 m section of footpath and on the assumption that the pod will be viewed negatively).

Proposed mitigation

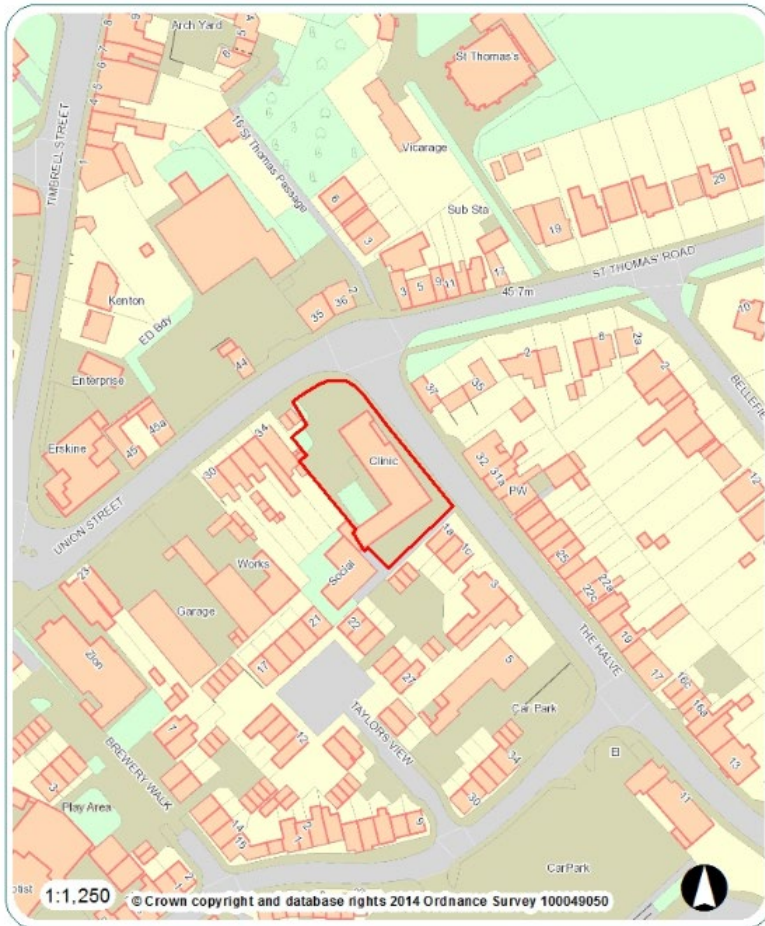
It is proposed to plant up the open corner of the field with native species which will, once established, close off the view of the pod in summer and allow only partial views filtered by leafless branches in summer. Once effective the effect on visual amenity in summer will be Negligible and only adverse of Minor significance in winter.



7b) 18/06893/FUL - Former Health Clinic The Halve Trowbridge

Proposed new second floor with 7 apartments, enlargement of ground floor D1 Dental Practice in Unit 1 and relocation of Unit 2 within reduced area of Unit 3. New 2 bedroom apartment within existing first floor above relocated Unit 2 and external-works to rear.

Recommendation - ???



Site Location Plan



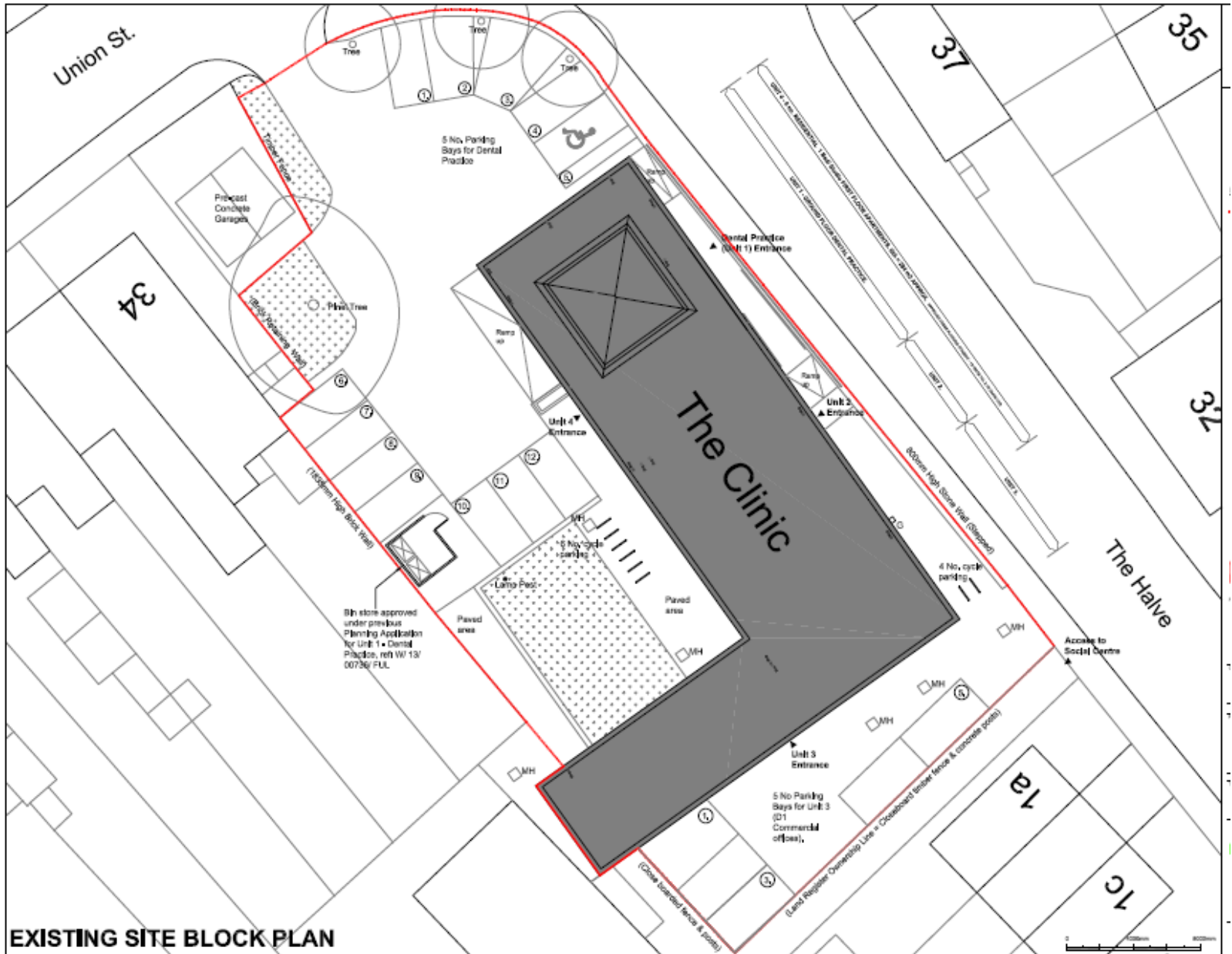
Aerial Photography



Site Location Plan

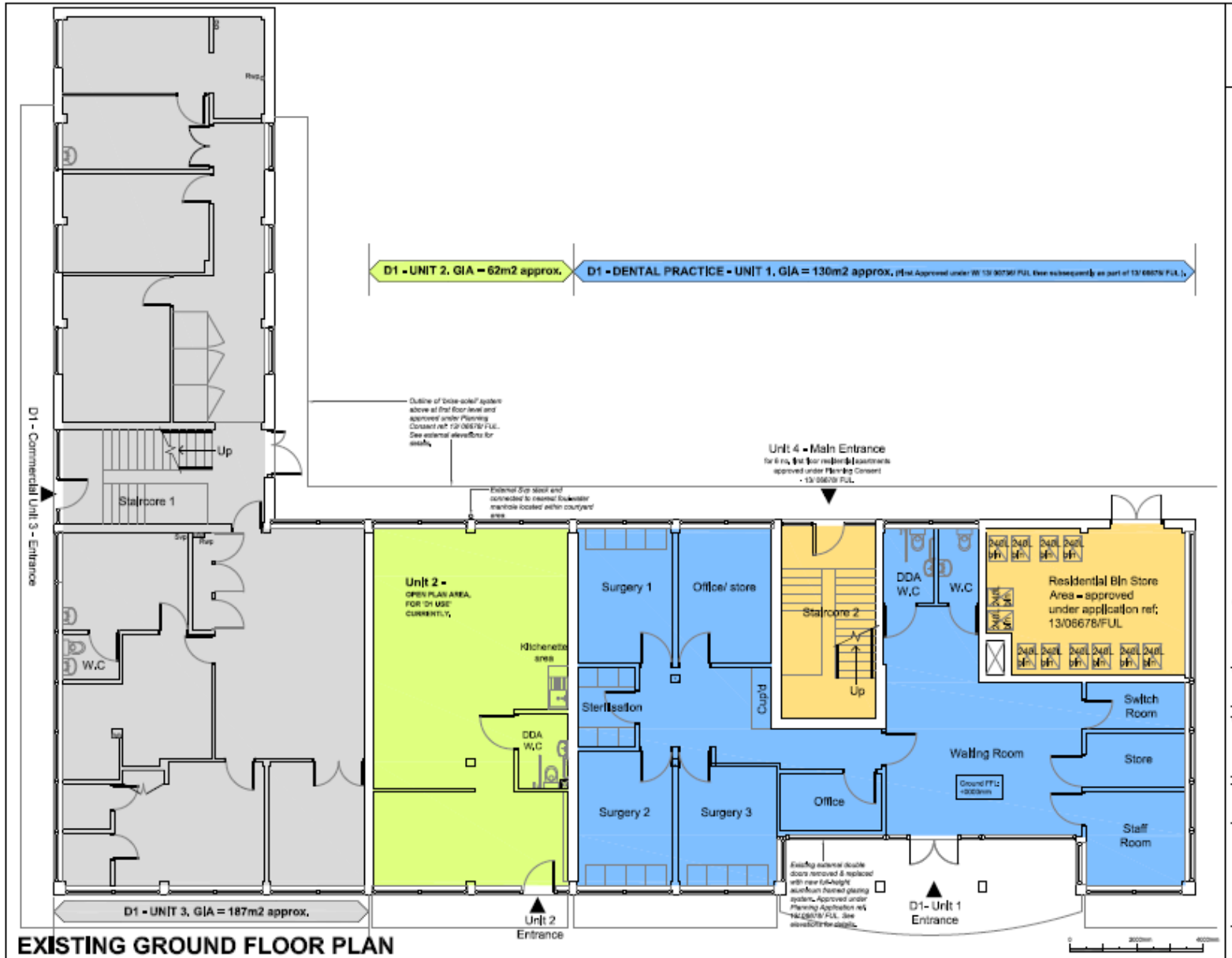


Existing Site Block Plan

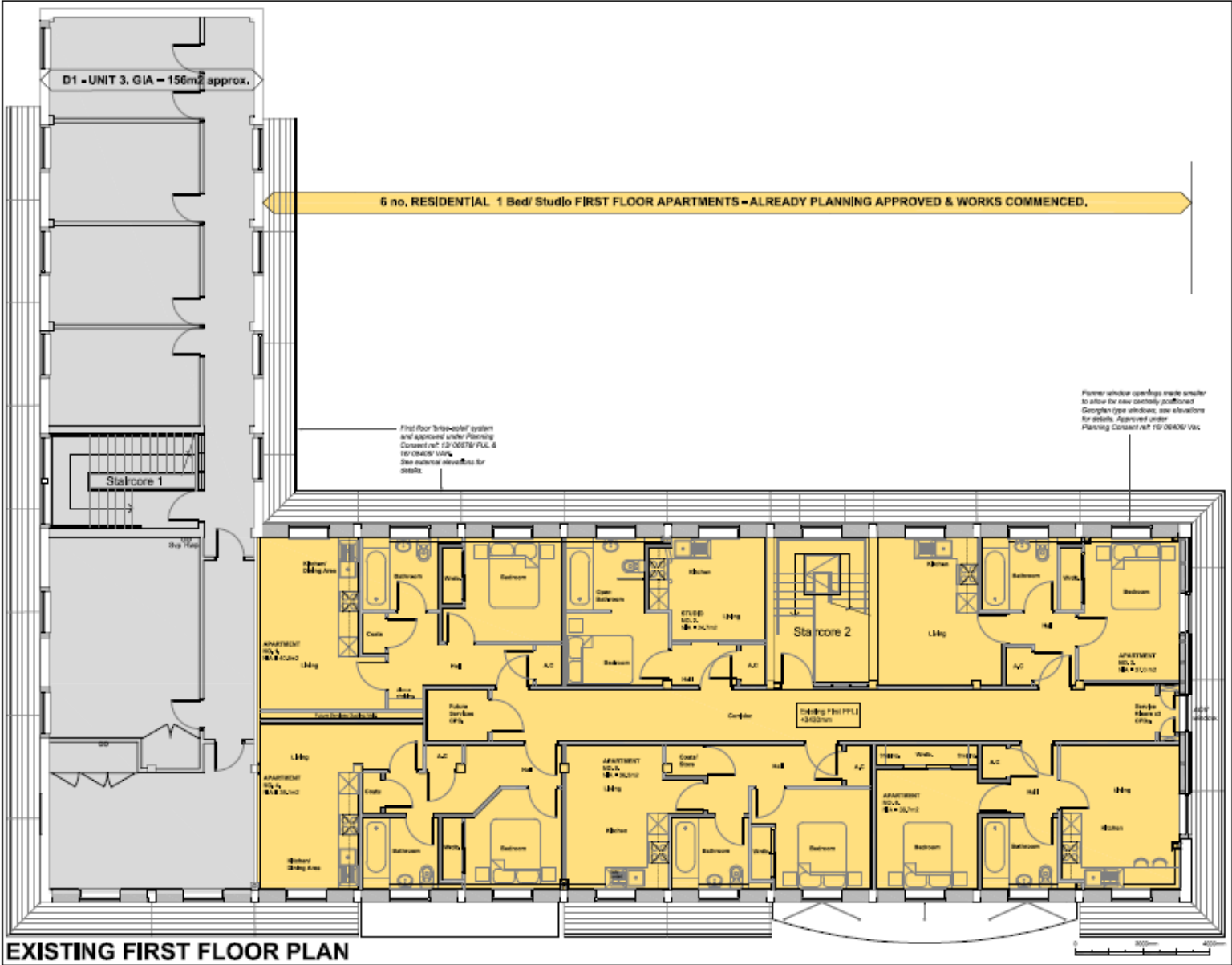


EXISTING SITE BLOCK PLAN

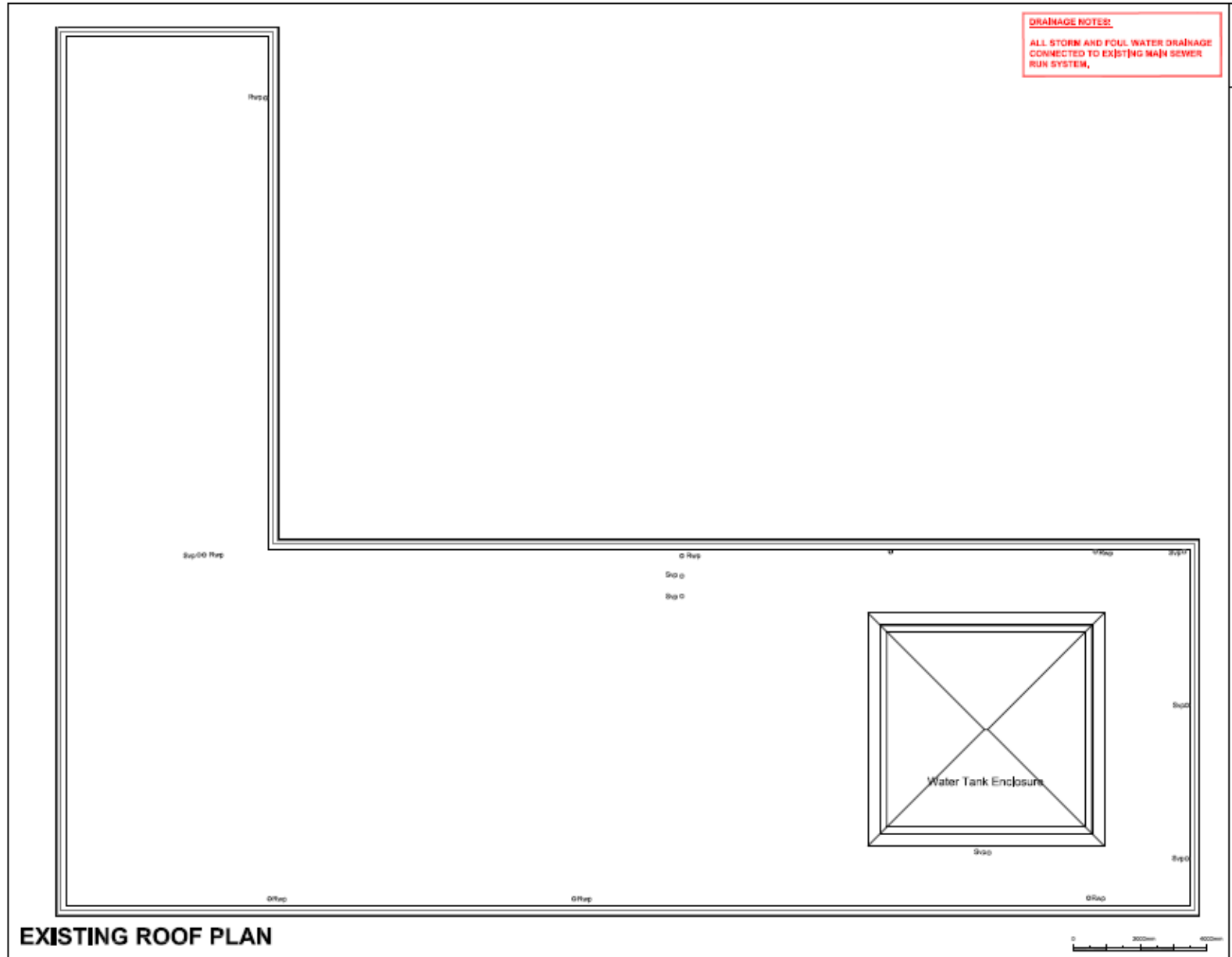
Existing Ground Floor Plan



Existing First Floor Plan

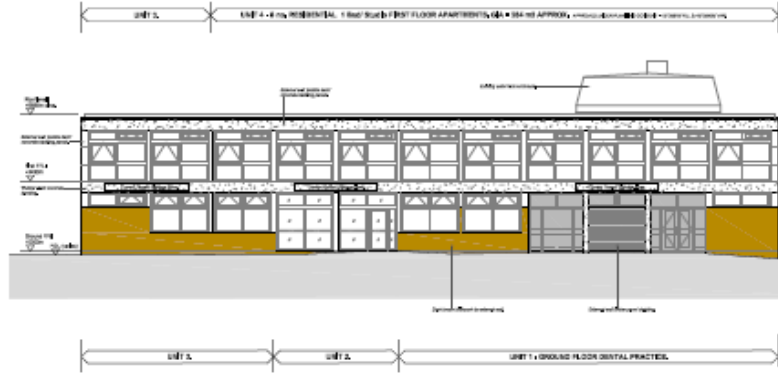


Existing Roof Plan

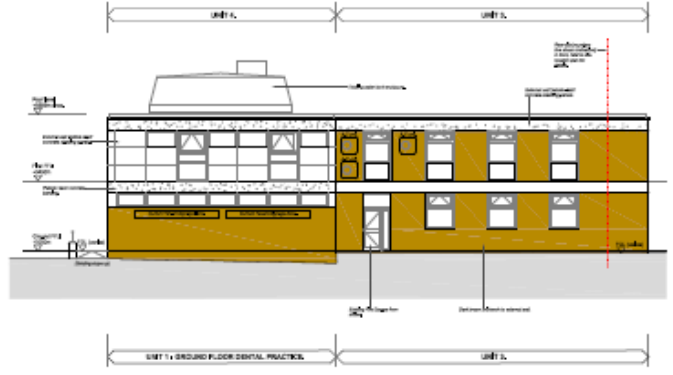


Existing Elevations

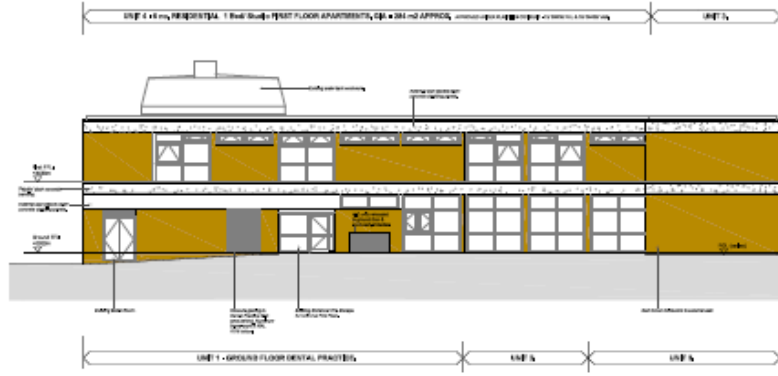
DRAINAGE NOTES:
 ALL STORM AND FOUL WATER DRAINAGE
 CONNECTED TO EXISTING MAIN SEWER
 RUN SYSTEM.



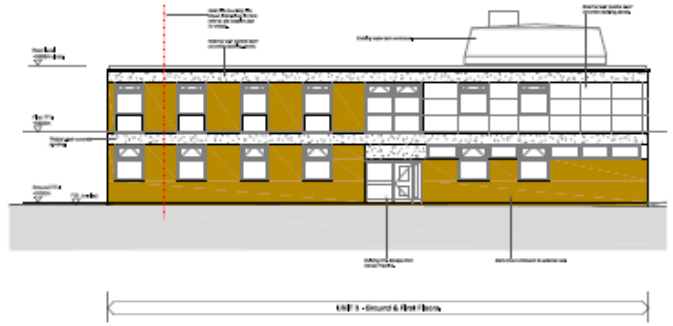
Existing Front Elevation (East)



Existing Side Elevation (North)



Proposed Rear Elevation (West)



Existing Side Elevation (South)

EXISTING ELEVATIONS

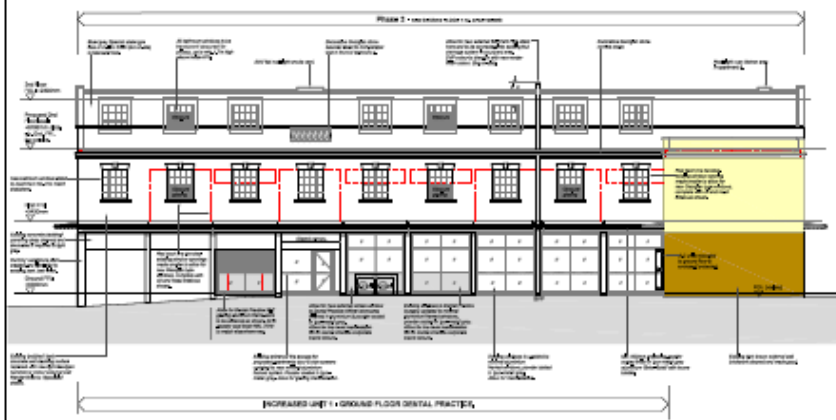


Proposed Elevations

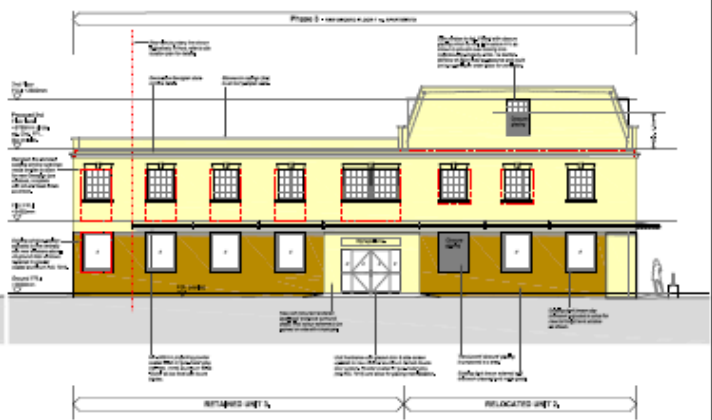


Front Elevation (East)

Side Elevation (North)



Rear Elevation (West)

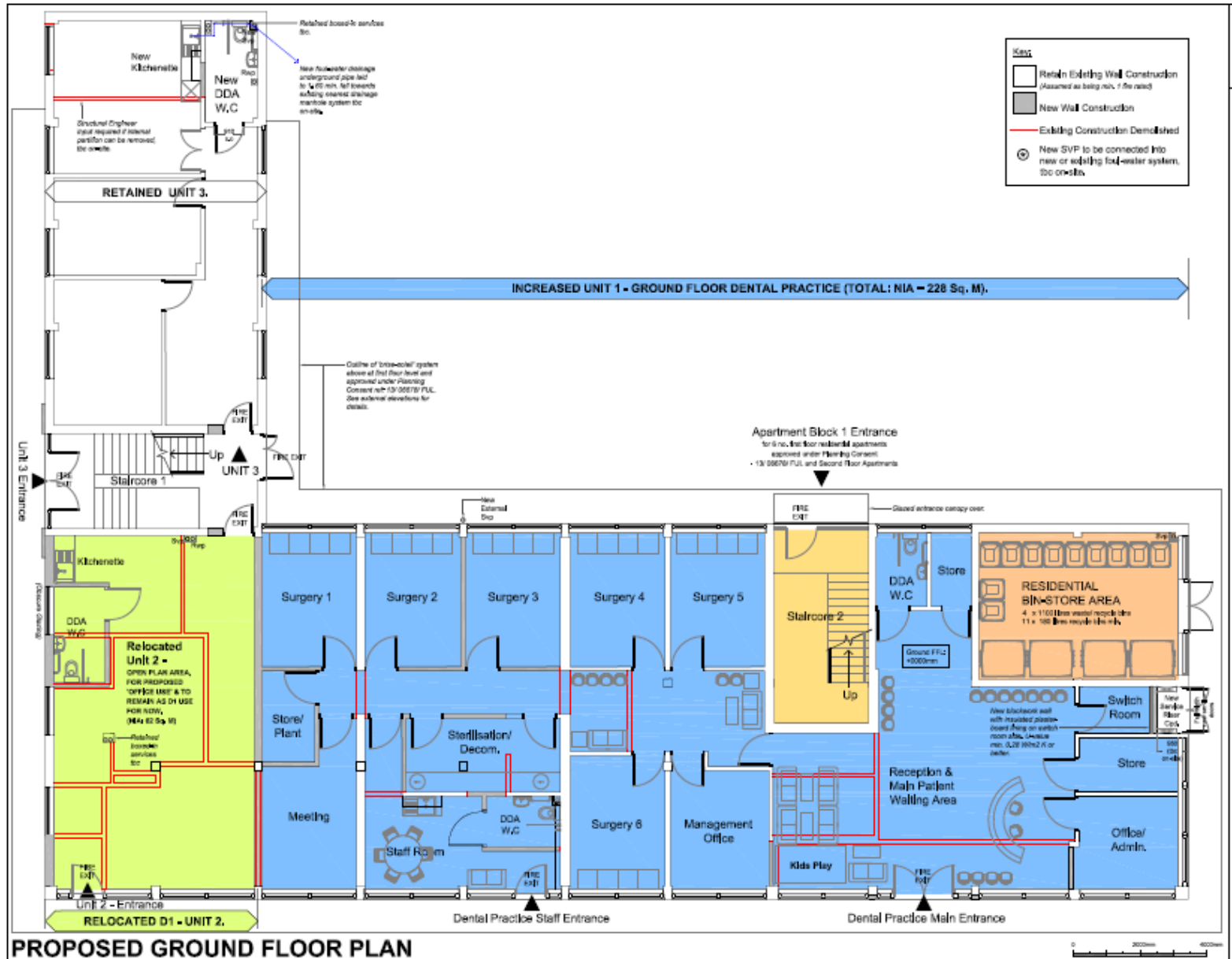


Side Elevation (South)

PROPOSED EXTERNAL ELEVATIONS

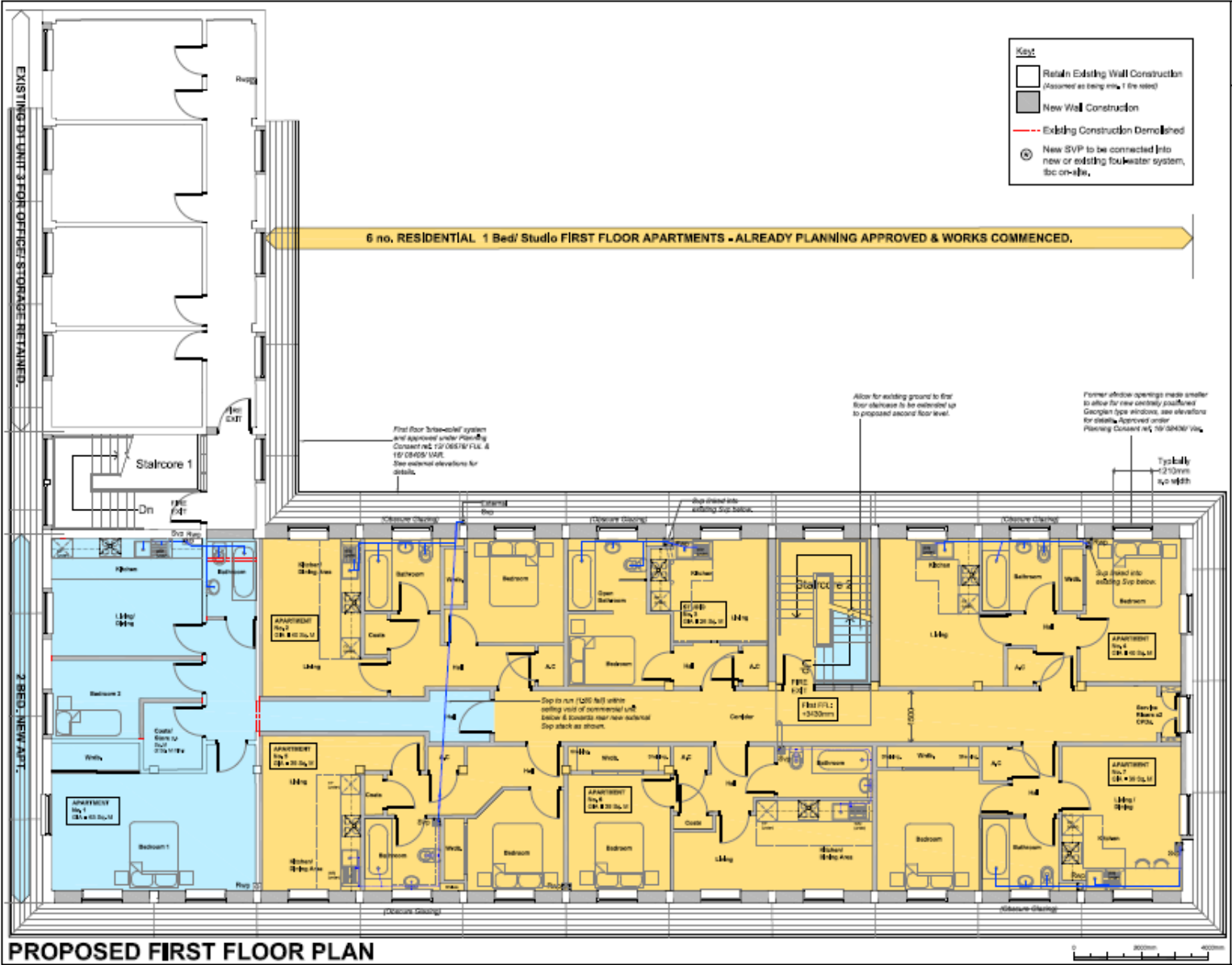


Proposed Ground Floor Plan

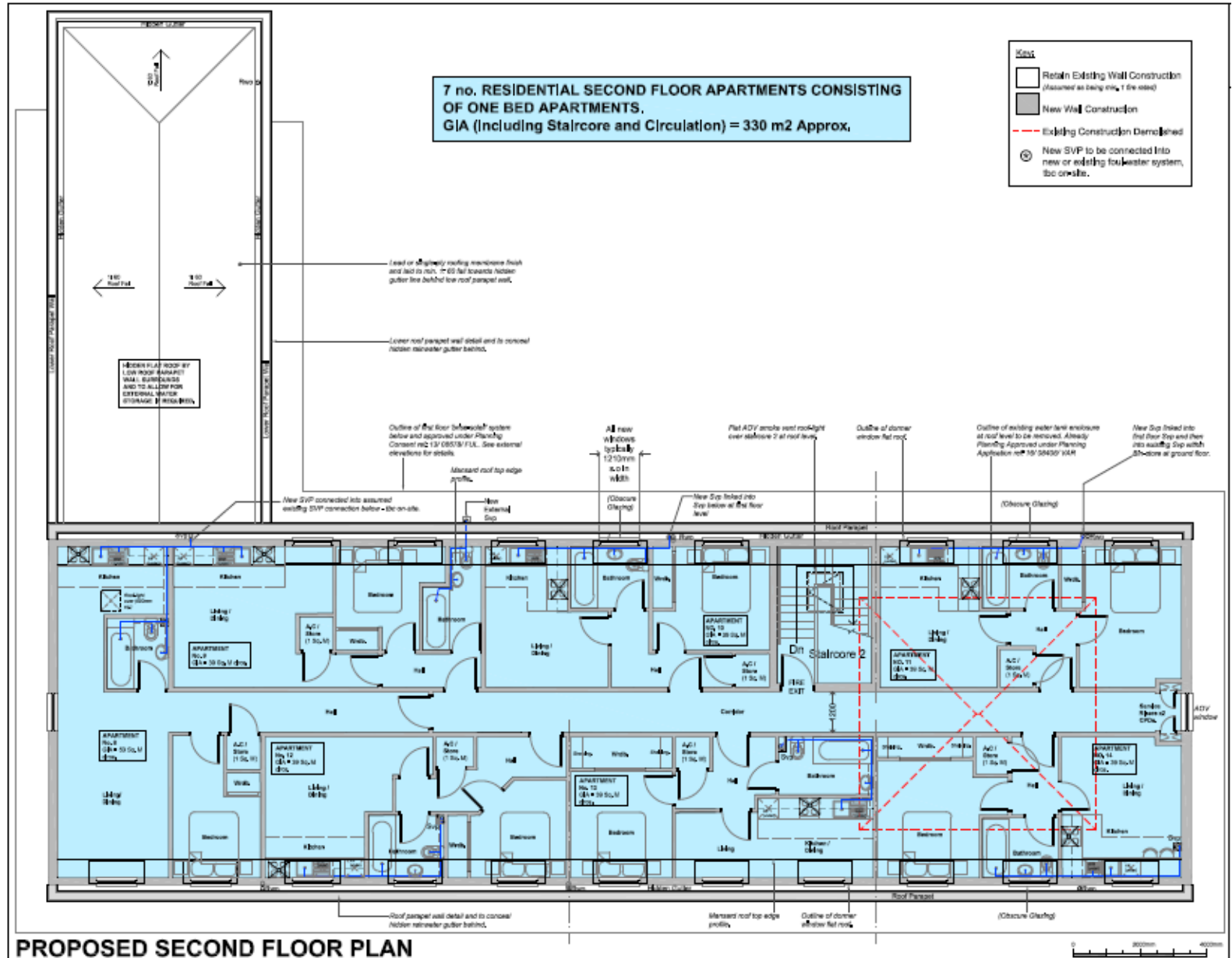


PROPOSED GROUND FLOOR PLAN

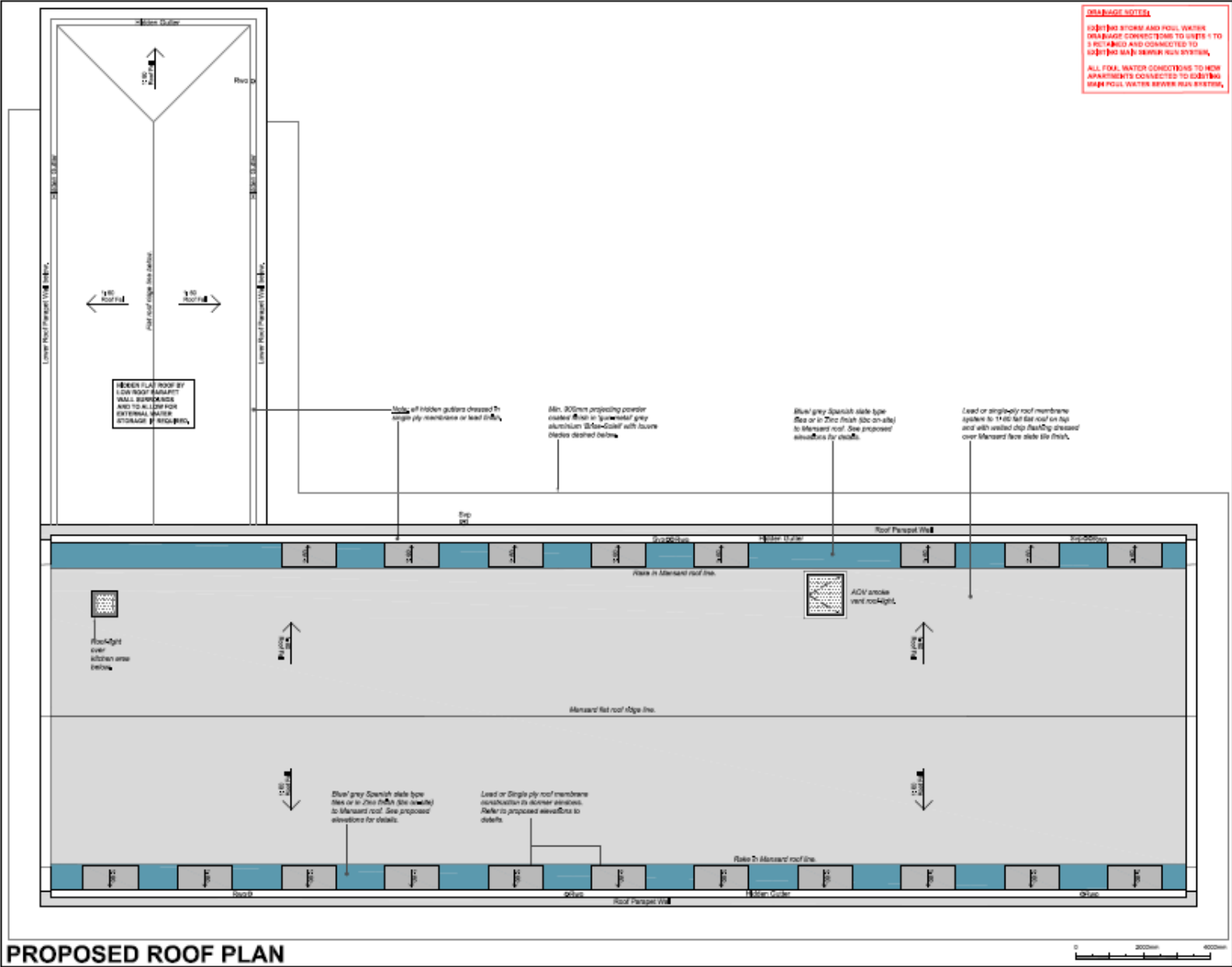
Proposed First Floor Plan



Proposed Second Floor Plan



Proposed Roof Plan



DRAINAGE NOTES:

- SEE L-24 ROOF BY LOW ROOF BARRIET WALL. BURDENED AND TO BE LEFT FOR EXTERNAL WATER STORAGE @ RESIDENCY.
- ALL FOLI WATER CONNECTIONS TO NEW APARTMENTS CONNECTED TO EXISTING HIGH FOLI WATER SEWER PLS SYSTEM.

PROPOSED ROOF PLAN













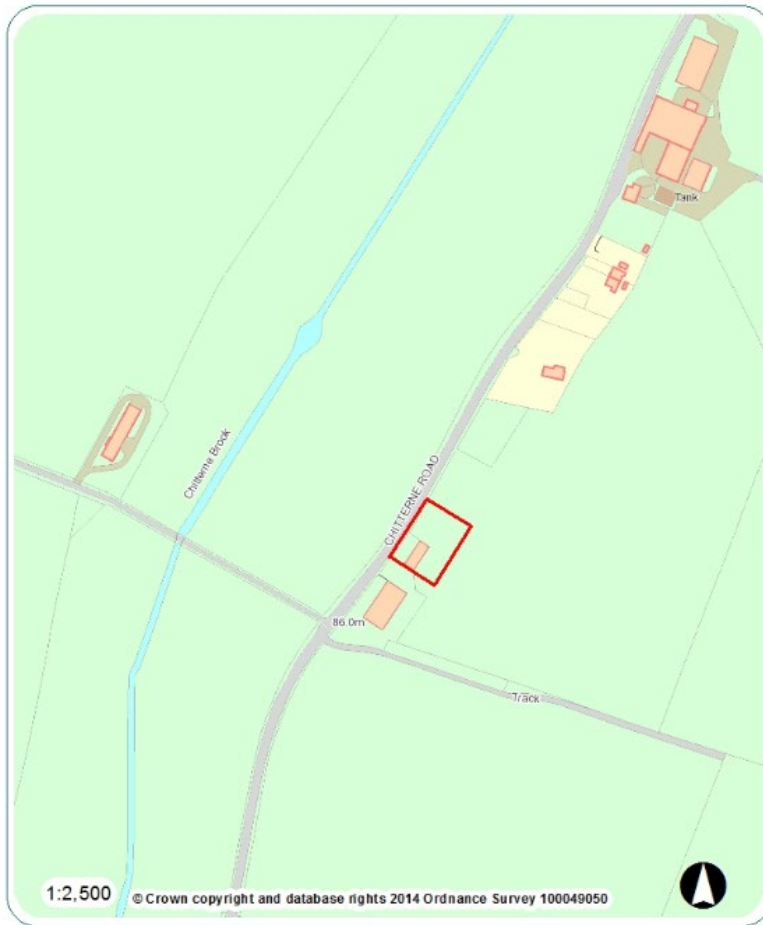




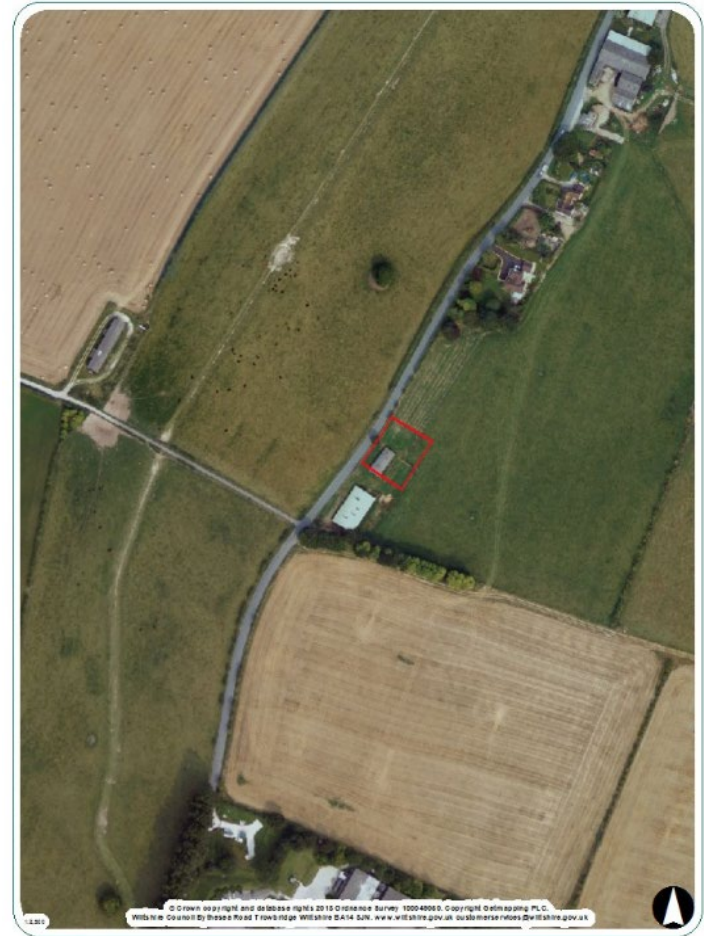
7c) 18/05384/FUL - Land at Auckland Farm Codford

Proposed detached farm workers dwelling with integral garage and vehicular access

Recommendation – Approve subject to conditions



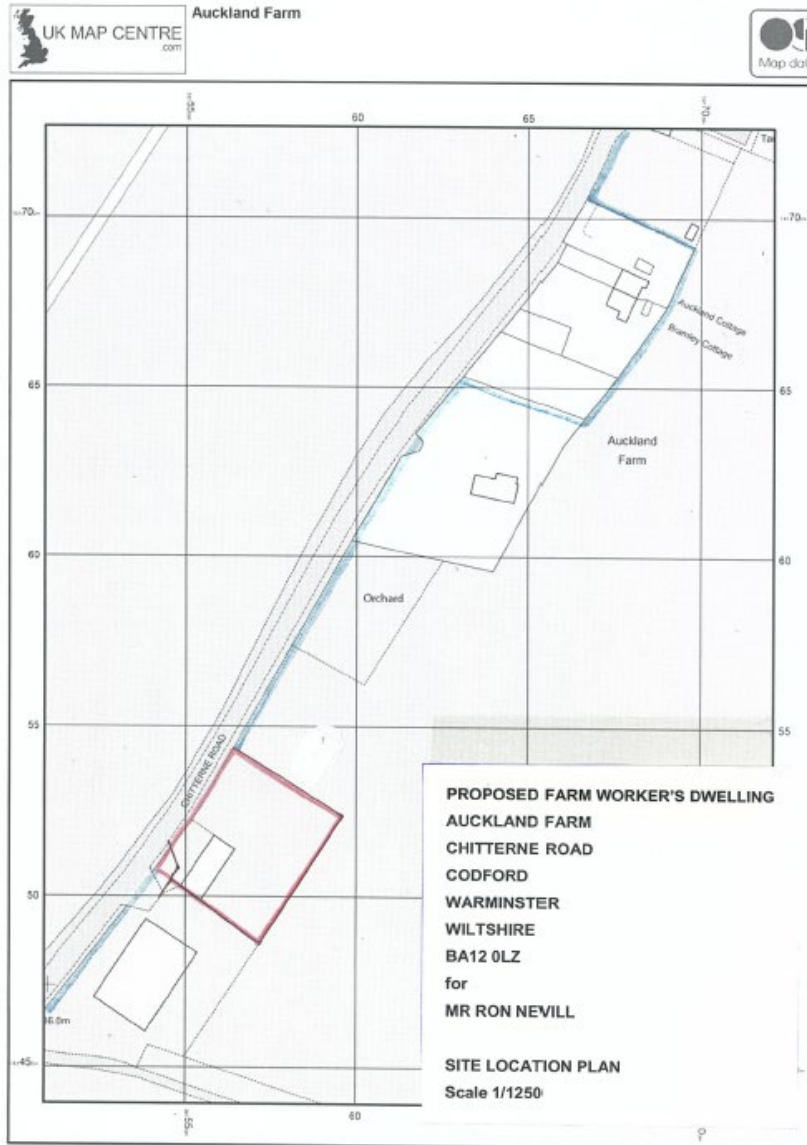
Site Location Plan



Aerial Photography

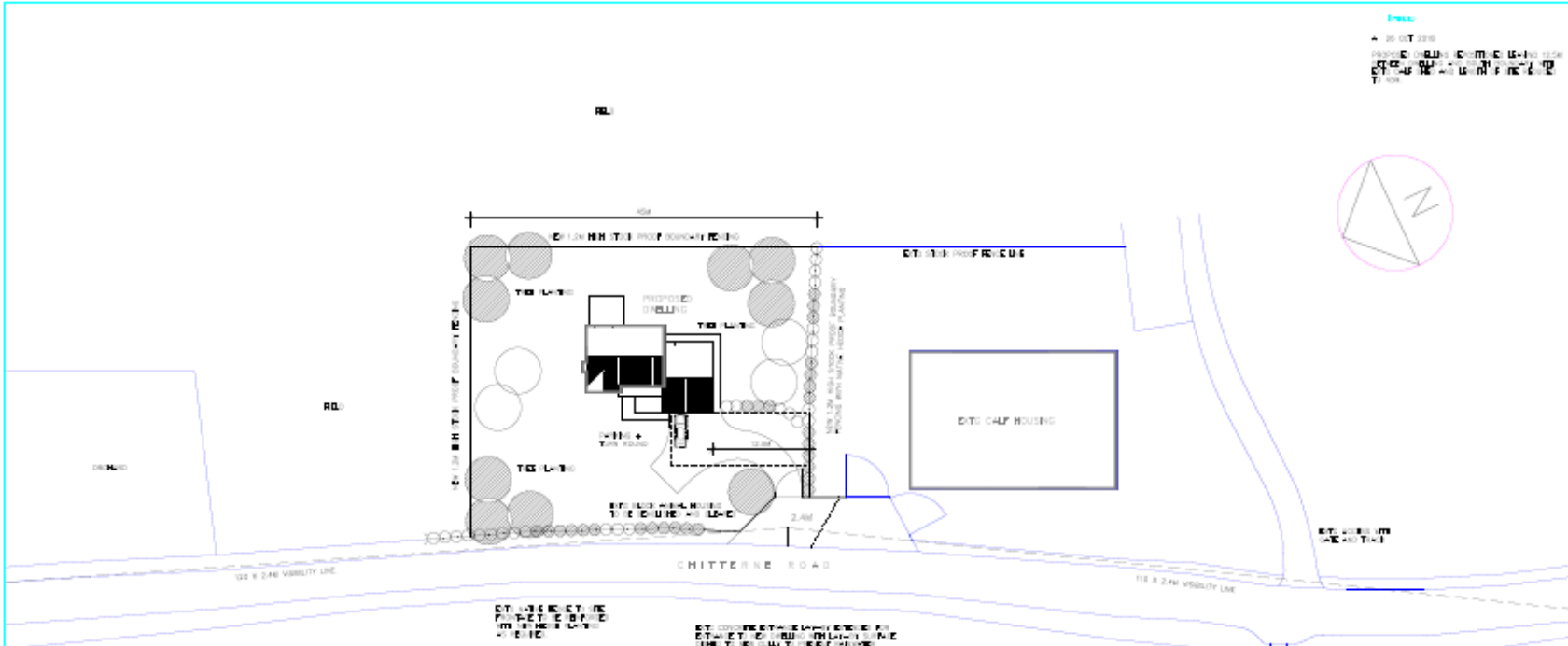


Site Location Plan

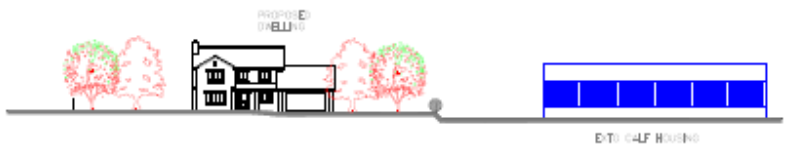


Block Plan / Street Scene

Date: 20 OCT 2018
 Project: PROPOSED FARM WORKER'S DWELLING, AUCKLAND FARM, CHITTERNE ROAD, COUFORD, WILTSHIRE, BA12 0LZ
 Drawn by: JIM NEEDING
 Title: BLOCK PLAN / STREET SCENE



SITE PLAN.



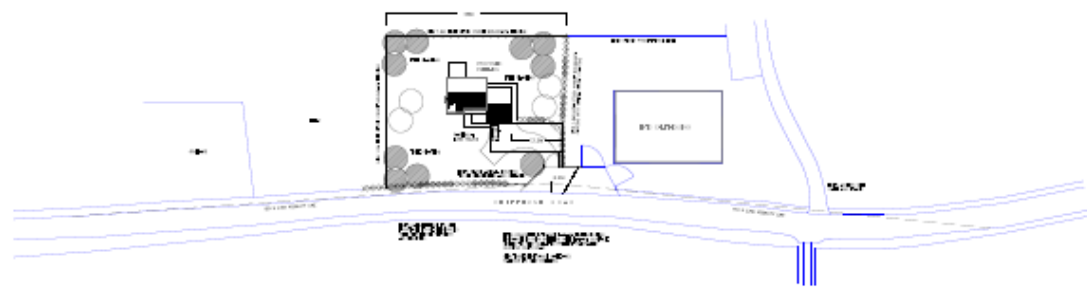
ELEVATION TO CHITTERNE ROAD.

Client		
MR. RON NEVILL		
Project		
PROPOSED FARM WORKER'S DWELLING, AUCKLAND FARM, CHITTERNE ROAD, COUFORD, WILTSHIRE, BA12 0LZ		
Project Info		
DESIGN DRAWING, SITE PLAN + ELEVATION TO CHITTERNE ROAD.		
Scale	Date	Drawn by
AS SHOWN	AUG 2018	JIM NEEDING
Jim Needing Building Design Services		
01246 411111	01246 411111	01246 411111
01246 411111	01246 411111	01246 411111
Project No	Draw No	
2018-36	05A	

SCALE 1/250 WHEN PLOTTED AT A3 SIZE
 SCALE 1/500 WHEN PLOTTED AT A4 SIZE

Block Plan

Date: 20 OCT 2018
 Project: PROPOSED FARM WORKER'S DWELLING, AUCKLAND FARM, CHITTERN ROAD, CODFORD, WILTS
 Drawing: SITE BLOCK PLAN

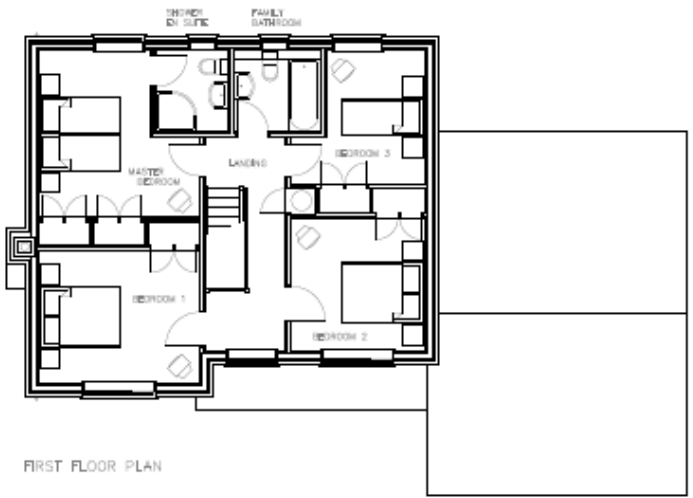
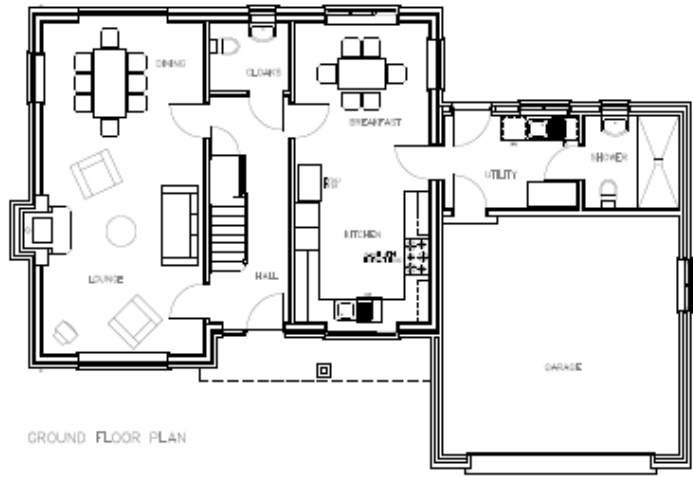


SITE BLOCK PLAN.

Client MR RON NEVILL		
Project PROPOSED FARM WORKER'S DWELLING, AUCKLAND FARM, CHITTERN ROAD, CODFORD, WILTS WARMINSTER, WILTSHIRE, BA12 0LZ		
Drawing Title DESIGN DRAWING, SITE BLOCK PLAN.		
Date 20 OCT 2018	Scale 1:1000	Drawn By [Name]
Imaging Imaging Building Design Services 11, Mill Lane, Chippenham, Wiltshire, BA27 9JZ Tel: 01249 411111		
Project No 2018-36	Drawing No 06A	

SCALE 1/1000 WHEN PLOTTED AT A3 SIZE
 SCALE 1/1000 WHEN PLOTTED AT A1 SIZE

Proposed Floor Plans



FLOOR AREA
 FLOOR AREA OF DWELLING 98.52 SQ M (1074.93 SQ FT)
 EXCLUDING INTERNAL WALLS
 FLOOR AREA OF GARAGE 29.30 SQ M (315.93 SQ FT)
 INCLUDING INTERNAL WALLS

SCALE 1/50 WHEN PLOTTED AT A3 SIZE
 SCALE 1/100 WHEN PLOTTED AT A1 SIZE

19/10

Client MR RON NEVILL		
Project PROPOSED FARM WORKER'S DWELLING, AUCKLAND FARM, CHITRENE ROAD, COXFORD, WARMINGSTER, WILTSHIRE, BA12 0LZ		
Project No DESIGN DRAWING DWELLING PLANS		
Drawn AS (REVISED)	Date AUG 2018	Drawn by TWS
Tim Weeding Building Design Services 11 MILL LANE, BRISTOL, AVON, BS1 3JG TEL: 0117 918 0000 WWW: TWS.CO.UK		
Project No 2018-36	Drawn No 02	

Proposed South and West Elevations

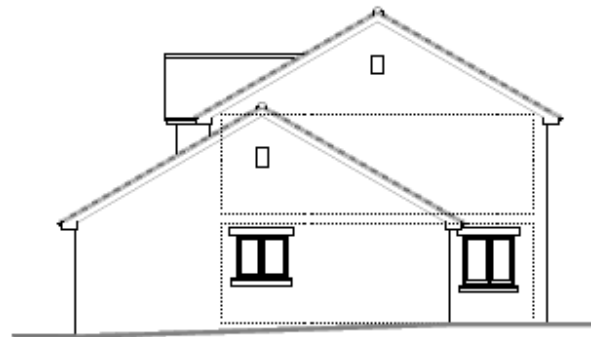
1/200



WEST (FRONT) ELEVATION

DWELLING EXTERNAL MATERIALS

ROOFING: ROOFING SHALL BE AS SPECIFIED IN THE ARCHITECTURAL DRAWINGS. THE EXTERNAL WALLS OF THE DWELLING SHALL BE FINISHED WITH A FINISH AS SPECIFIED IN THE ARCHITECTURAL DRAWINGS. THE EXTERNAL WALLS OF THE GARAGE SHALL BE FINISHED WITH A FINISH AS SPECIFIED IN THE ARCHITECTURAL DRAWINGS. THE EXTERNAL WALLS OF THE PORCH SHALL BE FINISHED WITH A FINISH AS SPECIFIED IN THE ARCHITECTURAL DRAWINGS. THE EXTERNAL WALLS OF THE TERRACE SHALL BE FINISHED WITH A FINISH AS SPECIFIED IN THE ARCHITECTURAL DRAWINGS. THE EXTERNAL WALLS OF THE DRIVEWAY SHALL BE FINISHED WITH A FINISH AS SPECIFIED IN THE ARCHITECTURAL DRAWINGS. THE EXTERNAL WALLS OF THE FENCE SHALL BE FINISHED WITH A FINISH AS SPECIFIED IN THE ARCHITECTURAL DRAWINGS. THE EXTERNAL WALLS OF THE GARDEN SHALL BE FINISHED WITH A FINISH AS SPECIFIED IN THE ARCHITECTURAL DRAWINGS. THE EXTERNAL WALLS OF THE DRIVEWAY SHALL BE FINISHED WITH A FINISH AS SPECIFIED IN THE ARCHITECTURAL DRAWINGS. THE EXTERNAL WALLS OF THE FENCE SHALL BE FINISHED WITH A FINISH AS SPECIFIED IN THE ARCHITECTURAL DRAWINGS. THE EXTERNAL WALLS OF THE GARDEN SHALL BE FINISHED WITH A FINISH AS SPECIFIED IN THE ARCHITECTURAL DRAWINGS.



SOUTH (SIDE) ELEVATION



SCALE 1/50 WHEN PLOTTED AT A3 SIZE
SCALE 1/100 WHEN PLOTTED AT A4 SIZE

<p>Client MR RON NEVILL</p>		
<p>Project PROPOSED FARM WORKER'S DWELLING, AUCKLAND FARM, CHITTERNE ROAD, CODFORD, WARMINSTER, WILTSHIRE, BA12 0LZ</p>		
<p>Design DESIGN DRAWING, ELEVATIONS, SHEET 1.</p>		
<p>Date 16/03/2018</p>	<p>By RND/2018</p>	<p>Drawn By RND/2018</p>
<p>Drawn By RND/2018</p>		
<p>Scale 1/50 (A3) / 1/100 (A4)</p>		
<p>Project No 2018-36</p>	<p>Sheet No 03</p>	

Proposed East and North Elevations



EAST (REAR) ELEVATION

DWELLING EXTERNAL MATERIALS

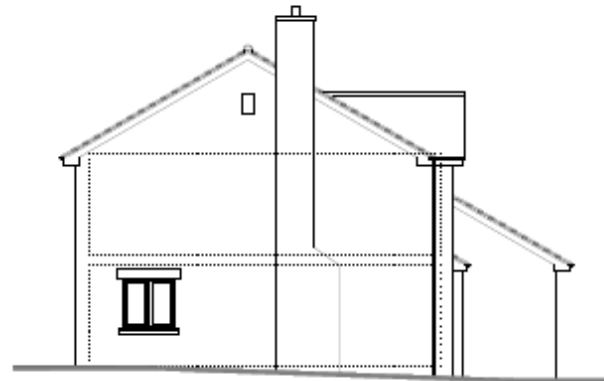
EXTERIOR OF DWELLING APPROVED TO BE FINISHED WITH A LIGHT COLOURED BRICK TO EXTERNAL WALLS. FINISH TO BE CONSISTENT WITH EXTERIOR WALLS OF EXISTING DWELLING. EXTERIOR WALLS TO BE FINISHED WITH A LIGHT COLOURED BRICK TO EXTERNAL WALLS. FINISH TO BE CONSISTENT WITH EXTERIOR WALLS OF EXISTING DWELLING. EXTERIOR WALLS TO BE FINISHED WITH A LIGHT COLOURED BRICK TO EXTERNAL WALLS. FINISH TO BE CONSISTENT WITH EXTERIOR WALLS OF EXISTING DWELLING.

ALL EXTERIOR WALLS TO BE FINISHED WITH A LIGHT COLOURED BRICK TO EXTERNAL WALLS. FINISH TO BE CONSISTENT WITH EXTERIOR WALLS OF EXISTING DWELLING. EXTERIOR WALLS TO BE FINISHED WITH A LIGHT COLOURED BRICK TO EXTERNAL WALLS. FINISH TO BE CONSISTENT WITH EXTERIOR WALLS OF EXISTING DWELLING.

ROOF TO BE FINISHED WITH A LIGHT COLOURED BRICK TO EXTERNAL WALLS. FINISH TO BE CONSISTENT WITH EXTERIOR WALLS OF EXISTING DWELLING. EXTERIOR WALLS TO BE FINISHED WITH A LIGHT COLOURED BRICK TO EXTERNAL WALLS. FINISH TO BE CONSISTENT WITH EXTERIOR WALLS OF EXISTING DWELLING.

ROOF TO BE FINISHED WITH A LIGHT COLOURED BRICK TO EXTERNAL WALLS. FINISH TO BE CONSISTENT WITH EXTERIOR WALLS OF EXISTING DWELLING. EXTERIOR WALLS TO BE FINISHED WITH A LIGHT COLOURED BRICK TO EXTERNAL WALLS. FINISH TO BE CONSISTENT WITH EXTERIOR WALLS OF EXISTING DWELLING.

ROOF TO BE FINISHED WITH A LIGHT COLOURED BRICK TO EXTERNAL WALLS. FINISH TO BE CONSISTENT WITH EXTERIOR WALLS OF EXISTING DWELLING. EXTERIOR WALLS TO BE FINISHED WITH A LIGHT COLOURED BRICK TO EXTERNAL WALLS. FINISH TO BE CONSISTENT WITH EXTERIOR WALLS OF EXISTING DWELLING.



NORTH (SIDE) ELEVATION

SCALE 1/50 WHEN PLOTTED AT A3 SIZE
SCALE 1/100 WHEN PLOTTED AT A1 SIZE

MR RON NEVILL		
PROPOSED FARM WORKER'S DWELLING, AUCKLAND FARM, CHITERSHIRE ROAD, COITFORD, WARMINGSTON, WILTSHIRE, BA12 0LZ		
DESIGN DRAWING, ELEVATIONS, SHEET 2.		
DATE	BY	REVISED
AS ISSUED	ASD 2018	
Tim Weeding Building Design Services 11 Mill Lane, Chippenham, Wiltshire, BA20 9JG Tel: 01249 411111		
Project No	Client No	
2018-36	04	







Western Area Planning Committee

12 December 2018

